

Item No. 4

**Application Reference Number P/18/0274/2**

<b>Application Type:</b>	Full	<b>Date Valid:</b>	23/02/2018
<b>Applicant:</b>	Miss Christina Church		
<b>Proposal:</b>	Two storey extensions and alterations to stable building to facilitate conversion to teaching facility.		
<b>Location:</b>	Quorn Hall Meynell Road Quorn LE12 8BQ		
<b>Parish:</b>	Quorn	<b>Ward:</b>	Quorn & Mountsorrel Castle
<b>Case Officer:</b>	Deborah Liggins	<b>Tel No:</b>	01509 634733

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This application is referred to Plans Committee following the 'call in' process by Councillor Shepherd who is concerned about the design and appearance of the development, loss of privacy, noise, vehicle movements and overbearing impact.

An application for Listed Building Consent is also submitted for the proposal under P/18/0358/2.

**Description of the Application Site and Proposal**

Quorn Hall itself and the outbuildings fall within the Limits to Development of Quorn as set out in the adopted Local plan. The playing field and tree belt next to the bypass to the north of the Hall complex is actually outside the settlement limits. The whole site, including the playing field and tree belt, also lies in the Quorn Conservation area. The Hall and the outbuildings are Grade II Listed buildings. Several of the buildings within the hall complex have been converted to residential dwellings and the Hall itself is used for residential training and education, offering independent schooling for pupils aged 6 to 17 years of age.

"The Wardens House" and "Huntsman's Cottage" lie to the north-west and south west of the application site and contain principal windows in their ground floor eastern elevations.

The site is within the Quorn Conservation Area, to the west of the River Soar and the main Hall is the Grade II Listed Building described as:

*"Country House, c1680 with 3rd storey of late C18 and much altered and added to C19 and C20. Red brick with pediment and slate roof with brick stacks. Three storeys of 5 sashes, mainly 6/6 and 1/1. C19 canted bay; entrance porch to left. Inside there is a good main staircase of c1680, well plan, with heavy strings and handrail and barley sugar twist balusters. Fine ceilings over with wire work wreaths of leaves, etc in centre and with a swagged cornice (similar to that at Newbold Verdon Hall, Leicester). A room at top of back stairs (also partly c1680) has bolection*

*moulded panelling and a fireplace with Delft tiles (now boarded 1983). Built for a branch of the Farnham family. Pevsner.”*

The application site is an ancillary brick and slate building within the grounds of Quorn Hall. It is located to the north-west of the Hall and its ground floor is already in use for education purposes. This building contains a number of existing ground and first floor windows on its northern eastern (rear) and (south western) front elevations. The main entrance to the ground floor classroom space is currently from doors situated in the front elevation approximately 9m from the western end of the building. The western side elevation of the existing building contains a first floor window. A brick archway tunnel and prominent clock belfry are central features of the building.

The proposal relates to the section of the building to the left side of the brick archway tunnel and noticeable belfry as viewed from Huntsman's Close. The application seeks the conversion of the first floor of this ancillary building (currently unused space) to additional teaching space. Because of the low eaves height and the exposed 6 king-post trusses (with inadequate headroom above each truss tie beam) the proposal involves the erection of extensions to be able to travel between the various compartments of the roof space of the building without encountering low beams. The proposal will therefore create separate rooms between each truss whilst leaving the original trusses partly exposed. New entrances will be formed to the building's front and rear elevations with new internal staircases serving the new spaces. The new extensions will each project 1.6m and would be 4.5m wide. The eaves would be the same height as the existing building and the ridges of the extensions would be 0.5m lower than the existing ridge height of the building. These extensions would contain first floor windows in their front and side elevations, with the two south-western most extensions having all the windows obscure-glazed.

The submitted Heritage statement explains the full extent of the proposed internal works. The proposed extensions take the appearance of four projecting gables, three being supported on stilts on the front elevation and the fourth one forming the main entrance to the first floor on the rear elevation. The proposal also involves the insertion of two roof lights in the front elevation roof slope and twelve openable roof lights in the rear. These would be placed at such a height in the roof slope that the lower cills would be 2.3m above the first floor level. The two fixed sky lights within the front roof slope would have a lower cill height of 2m from first floor level.

Other elevational changes are the loss of four first floor windows to the front elevation as a consequence of the position of the new extensions which would otherwise obscure them. An existing ground floor window in the front elevation is to be bricked up and a new one proposed just to its left. The submitted drawings indicate that all the existing first floor windows in the western gable and the rear elevation would be obscure-glazed.

The bay extensions would be constructed in blockwork and brickwork with the external face clad in cedar boarding. Natural slate would be used for the pitched roofs. Windows would be white painted timber and external doors black painted timber to match the existing.

The proposed plan also indicates that an enclosed former external doorway in the western elevation is to be re-opened to provide stair access to the first floor.

The application is accompanied by the following documents prepared by the applicant's agent:-

- Design and Access Statement – this sets out the context of the proposal and explains that the current ground floor is approximately 182 sq.m. and will increase by 7 sq.m in area by virtue of the extension providing the proposed new entrance . The existing first floor is 188 sq.m. and is expected to increase to 209 sq.m. as a consequence of the various extensions. No changes are proposed to be made to the existing landscaping, vehicular access or car parking areas.
- Heritage Statement – This identifies the heritage assets and their setting and assesses their contribution to the significance of the overall heritage asset. The statement then assesses the effects of the proposed development whether negative or positive on that significance and explores ways to maximise enhancement and minimise harm. The applicant has taken the Council's Conservation Area Character Appraisal as a starting point and identifies that it is the history of the building that is significant rather than its architectural style although there are some identified features of architectural interest. The statement also assesses the contribution the building makes to the heritage asset of the Conservation Area and the setting of Quorn Hall itself. The statement sets out that the philosophy of the proposal is 'minimum intervention, maximum retention'. The applicant considers that the proposal preserves the existing trusses without major intervention and is an innovative and unique approach.

The application form also sets out that the proposal will not result in the need for additional members of staff and that the new teaching space would be used between 0830 and 1700 hours Mondays to Fridays with no use on Saturdays, Sundays or Bank Holidays. The applicant clarified on 19th April 2018 that there are currently 60 pupils attending the school and that the proposal might increase this to 70. There are currently 31 members of staff and the proposal will not result in additional employees. The site is already in educational use and the possible increase (if any) in pupil numbers does not amount to a material change of use which would require planning permission.

## **Development Plan Policies**

### Charnwood Local Plan (2011-2028) Core Strategy

Policy CS1 sets out the development strategy for the Borough and places Quorn as a Service Centre – offering the full range of services, facilities and educational establishments for day to day living. Quorn is therefore an acceptable and sustainable location for new residential development.

Policy CS2 – High Quality Design sets out the design-related criteria for achieving high quality design. It includes reducing the impact of development to make it more

resilient to the effects of climate change; well-designed streets and spaces and making sure development is of an appropriate quality to protect the amenities of people who live or work nearby. It will therefore be essential to consider the massing, height, landscape, layout and materials in new development.

Policy CS14 – Heritage requires development proposals to protect heritage assets and their settings.

Policy CS25 – Presumption in Favour of Sustainable Development sets out that the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning policy Framework. It pledges to work proactively with applicants to jointly find solutions to approve development wherever possible to secure improvements to the economic, social and environmental conditions in an area. Planning applications that accord with the policies in the Core Strategy will be approved without delay unless material considerations indicate otherwise.

### Borough of Charnwood Local Plan

Policy EV/1 – Design seeks to ensure a high standard of design for development which respects the character of the area, nearby occupiers, and is compatible in mass, scale, layout, whilst using landforms and other natural features. It should meet the needs of all groups and create safe places for people.

Policy TR/18 – Parking in New Development seeks to secure an appropriate level of parking for new development in accordance with adopted standards.

### **Other Material Considerations**

#### National Planning Policy Framework

The Framework sets out the Government’s planning policies for England, how these are expected to be applied and taken into account in the preparation of local and neighbourhood plans, and as a material consideration in the determination of planning applications (Paragraph 2).

The Framework states that the purpose of the planning system is to contribute to the achievement of sustainable development and that there are 3 dimensions to this.

- An economic role – contributing to building a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places to support growth and innovation
- A social role – supporting strong, vibrant and healthy communities by providing the supply of housing required to meet the needs of present and future generations and by creating a high quality built development with accessible local services;
- An environmental role – contributing to protecting and enhancing our natural built and historic environment.

At the heart of the Framework is a presumption in favour of sustainable development, which should be seen as a golden thread running through both plan making and decision making. For decision making, this means;

- Approving development proposals that accord with the development plan without delay; and
- Where the development plan is absent, silent or relevant policies are out of date, granting planning permission, unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole; or where specific policies in the Framework indicate development should be restricted (Paragraphs 14 and 197).

The Framework says that local planning authorities should approach decision taking in a positive way to foster the delivery of sustainable development. The relationship between decision making and plan making should be seamless, translating plans into high quality development on the ground (Paragraph 186). It therefore requires Local Planning Authorities to approve development proposals which accord with the local plan without delay, and where the plan is absent, silent, or its policies are out of date, planning permission should be granted for development unless its adverse impacts would significantly and demonstrably outweigh the benefits, or, specific policies in the Framework indicate that development should be restricted. In assessing and determining development proposals, local planning authorities should apply the presumption in favour of sustainable development (Paragraph 197).

Paragraph 132 of the NPPF requires local planning authorities to consider the impact of a development on the significance of designated heritage assets, with great weight being given to the conservation of those assets. Paragraph 134 goes on to say that where a proposed development will lead to less than substantial harm to the significance of a heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

### Planning Practice Guidance

ID 26 - Paragraphs 001-003 state that good design matters and what this can achieve through good plan making. Paragraph 004 notes that weight can be given to outstanding or innovative design and developments of poor quality design should be refused. Paragraph 007 states that planning should promote local character. New development should be integrated within existing surroundings.

### Planning (Listed Building and Conservation Areas) Act 1990 (as amended)

This consolidates previous legislation relating to special controls in respect of buildings and areas of special architectural or historic merit and sets out what alterations can be carried out to listed buildings and within Conservation Areas without the formal consent of the local planning authority. Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that in exercising an Authority's planning function special attention shall be paid to the desirability of preserving or enhancing the character or appearance of heritage assets.

### The supplementary planning document (SPD) Leading in Design

The SPD provides guidance intended to encourage, promote and inspire higher design standards in new development throughout Charnwood and, amongst other things, at Appendix 4, sets out Space Standards for Residential Development.

### Quorn Conservation Area Character Appraisal (2008)

This has the purpose of examining the historical development of the Conservation Area and describes its present appearance in order to assess its special architectural and historic interest. The appraisal is then used to inform the consideration of management and development proposals within the area. This document describes Quorn Hall and Quorn House as playing little part in the townscape of the conservation area as both are set within their own areas of parkland and are significant features of the village. Quorn Hall was a major employer in the village during its years as host to the Quorn Hunt and this influenced development of the locality.

### Quorn Village Design Statement (2008)

This document seeks to record the natural and built features of Quorn that are valued by its residents with the purpose of safeguarding and enhancing the village with appropriate and contextually sympathetic development. This document states that new development should respect the diverse origins of the village and avoid uniformity. Variety and innovative contemporary design is encouraged subject to harmonizing with the scale and character of the immediate locality and the village as a whole. The document seeks to ensure that future developments preserve the essential character of Quorn and to suggest opportunities for appropriate restoration or enhancement. The aim of the document is to safeguard the integrity and independence of the village so that succeeding generations will continue to enjoy, understand and defend its historic foundation.

## **Relevant Planning History**

Various applications made over the years relating to alterations to the Listed building and conversion of buildings within the complex to residential properties. More recently a very similar scheme to the current proposal was approved under references P/16/2463/2 and P/16/2468 (LBC). However, the approvals for these two applications were quashed in the high court following a legal challenge and the applications subsequently withdrawn by the applicant.

## **Responses to Statutory Consultees**

### Environmental Protection Officer

The proposed design and hours of use are acceptable in terms of the potential impacts of noise. These comments are based on the assumption that the new roof lights in the front elevation are non-opening and this is confirmed on the submitted drawing.

## Quorn Parish Council

The Parish Council objects to the proposal stating that the proposal and its choice of materials is intrusive and will alter the character of this attractive utility building. The proposal is considered to be at variance with the Quorn Village Design Statement. The comments of local residents are supported by the Parish Council. Alterations to built heritage should make a positive contribution and enhance heritage assets and it is considered that the proposal does not do this.

### **Other Comments Received**

Meynell Road – 1, Garden Cottage  
Huntsman's Close – 1, 3, Huntsman's Cottage

Main issues of concern are:

- The design of the extensions including the roof lights is inappropriate and would harm the authenticity and heritage value of the area & be aesthetically harmful to the listed building.
- The extensions would destroy the symmetry of the building.
- The expansion of teaching facilities is not required as there appears to be no information regarding increases in pupil numbers or teachers.
- Taxis collecting and dropping off pupils already queue at the entrance gates and block driveways to existing dwellings at the beginning and end of the school day & the private estate road is wearing out.
- All of the features of significance as outlined in the Heritage Statement would be lost in the carrying out of the development.
- Traffic nuisance from contractor's vehicles and coaches delivering children for canoeing activities.
- The proposals do not accord with Policy CS14.
- The proposed use of cedar boarding is considered to be inappropriate.
- The applicant should be made to repair the clock tower.
- No information is provided about the sort of classes which will be taught in the new accommodation or their frequency in terms of the potential for noise generation or the numbers of pupils involved.
- Loss of privacy as only some of the windows are proposed to be obscure glazed.
- Increased noise and disturbance both during construction and upon commencement of the use from pupils congregating near residential property boundaries, particularly as a doorway in the western elevation is to be re-opened. Only some of the windows are proposed to be fixed. Mechanical ventilation would also have the potential to be noisy.
- A preference is stated for the extensions to be wholly on the rear elevation of the building.
- Opening during school holidays would lead to further disturbance.
- The accuracy of red and blue lines on the submitted site plans.
- Loss of features of architectural or historic interest.
- Western staircase does not meet building regulations.

## **Consideration of the Planning Issues**

The main issues are considered to be:

- The Principle of the Development
- The Design of the Resultant Building and Impact on Heritage Assets
- Impact on neighbouring occupiers
- Traffic Impact.

### The Principle of the Development

Quorn is identified as a Service Centre within the adopted Core Strategy. This means it is considered to be a settlement with the full range of services and facilities to meet the day to day needs of its residents and is therefore a sustainable location for new development. The proposal therefore accords with Policy CS1.

### The Design of the Resultant Building and Impact on Heritage Assets

The Government's aim is to promote high quality and inclusive design over the lifetime of developments, and require development to contribute positively to making places better for people. The proposal meets the requirements of central government policy on design in that the development enables the adaption of the building to support an existing primary use on the site.

The stable block is "Listed" as a curtilage building to Quorn Hall and it is situated within the conservation area, as such, potential harm to the heritage assets themselves and their setting requires consideration. Although the heritage statement identifies a methodology for assessing the setting of heritage assets its overall content does also identify the heritage significance, impact, level of harm and how this has been used to inform the proposal. The assessment of significance identifies the social and economic heritage value and the important architectural elements and materials that contribute to its significance. This has resulted in a design solution that allows these significant features, such as doors and windows, decorative brick banding at eaves level, timber king-post roof trusses, the lime ash floor at first floor level, brick corbelling features supporting the main floor beams, fireplaces and chimneys, to be retained and proposed additions that contrast but complement the existing building, in order to achieve better access to the first floor and for these spaces to be used more easily.

Even though the building is substantially hidden from wider public view its altered appearance will still impact on the character and appearance of the conservation area. The addition of contemporary designed elements using materials that contrast with the robust traditional structure of the existing building is considered to be an enhancement. Bringing existing floor space within a listed building back into use and for it to be used to improve and have a direct impact on the long term viability of a use that is compatible with the historic character of the building, is also viewed as being beneficial.

The general scope of works does not differ significantly from that proposed in the previous scheme. The design solution allows the significant features of the building to be retained and the proposed additions, although of a contrasting design are considered to complement with existing building through the use of some traditional materials.

Although a neighbour considers that the 'listing' for the property includes particular items within the estate such as a horse feeding trough and corbelled brickwork in the stables building, these are not specifically mentioned in the listing and the proposal has been assessed against the significance of each heritage asset taken as a whole. The agent has, however confirmed that these features are to remain and these are shown as such on revised drawings received on 4th May 2018.

Reference is also made by a neighbour to the existing internal staircase at the western end of the building, which will be brought back into use as a result of a re-opened doorway. Specifically, it is queried whether or not this staircase would be compliant with the Building Regulations. Advice from Building Control colleagues is that it could be made compliant if it is required to be and the execution of the works would be subject to Building Regulations. Consideration of the building regulations is a separate matter to that of planning control, nevertheless the agent has confirmed that this is not a fire escape access or a staircase for general access to the first floor. It will be only be used for specific maintenance tasks. All other staircases are to be used as a priority for maintenance work.

It is therefore considered that the proposals would cause less than substantial harm to the significance of the designated heritage asset itself and the Quorn Conservation Area and a neutral impact on the setting of the principal listed building at Quorn Hall and its other associated outbuildings. This harm can be weighed against the public benefits provided by the proposals in accordance with Paragraph 134 of the NPPF and, in this case, it is considered that the modern interventions allow an under-used part of the building to be brought into modern day use which helps to sustain the long-term viability of a heritage asset. The development therefore accords with Policy CS14 of the Core Strategy.

#### Impact on neighbouring occupiers

The ground floor of the building is already used for education purposes so the main impact to consider arises from the extensions themselves and the insertion of new windows and alterations to first floor windows in the front elevation in particular. The neighbour at Huntsman's Cottage (to the south-west of the building) is concerned about loss of privacy and it is considered that the proposed use of obscure glazed and fixed windows could be secured by the imposition of a suitably worded planning condition to ensure these remain as proposed in perpetuity. The neighbour is also concerned about potential noise and disturbance arising from the reopening of a doorway in the side elevation which accesses an existing staircase leading to the first floor. The applicant has confirmed that this will be an occasional access required only for maintenance purposes, with the other entrances being the general accesses. The existing ground floor entrance door is located close by and this generates a degree of pedestrian movement in the area. It is therefore considered that the reopening of this doorway, which is already enclosed by a covered passage

and the creation of the new entrances would not cause significant additional noise and disturbance to neighbours over and above that arising from the current lawful use of the site as a whole. The applicant's agent has indicated that the pupils enrolled at the school may increase by a maximum of 10 and, given the scale of the premises as a whole, this increase is not considered to be significant.

The proposed roof lights in both the front and rear elevations will not afford a view over neighbouring properties, because of their high position within the roof slope (at least 2.0m height to the cills) and it is considered that the suggested planning condition would be sufficient to protect existing residential amenities. Other windows to the eastern most extension are sufficiently distant from existing residential properties and serve thoroughfares where pupils are not likely to linger. It is therefore considered that the privacy of existing residents would be adequately protected by in the proposals.

In terms of noise, the submitted plans indicate no requirement for external ventilation appliances or equipment and should these be required, separate permissions may be required. Noise from pupil activity is difficult to quantify or mitigate against given the existing lawful use of the site for education purposes but if existing residents experience persistent excessive noise, there are other legislative controls to investigate and address this. However, respondents are concerned about the increased activity that would take place at first floor level. In order to avoid a risk of excessive noise the applicant has incorporated fixed windows and roof lights in the proposal where they are nearest to existing properties to contain noise within the building. The applicant has therefore demonstrated that the proposal itself will not result in additional significant noise nuisance.

Although the westernmost extension on the front elevation will be closer to the boundary of Huntsman's Cottage than the existing front elevation, the proposal is perpendicular to, and north of, the garden and principal windows in that property. As mentioned above, the issue of privacy is addressed through the high level roof lights and the imposition of planning conditions requiring windows indicated on the submitted plans to be fixed and obscure glazed. Because of the orientation of the properties and the design of the proposal, significant loss of light would be avoided. It is considered therefore that the proximity of the extensions to the boundary of Huntsman's Cottage would not lead to an overbearing impact although the proposal would introduce new built features that are closer to Huntsman's Cottage. Given the above context and assessment, it is considered that the proposal accords with policies CS2 and EV/1.

### Traffic Impact

The proposal to bring the first floor of the building into additional teaching space has little bearing on the assessment of traffic impact. This is because pupil numbers can be increased or decreased without recourse to the local planning authority. The applicant has not definitively indicated that pupil or staff numbers will increase as a result of the development but has indicated that up to 10 additional pupils may be enrolled as a result of the development. The main access and current car parking arrangements would continue to operate as existing. Typically pupils arrive by taxi and are collected at the end of the school day. The proposal therefore has potential

to increase the number of cars arriving and departing the site at peak times. The proposals do not reduce available car parking at the site and the county highway authority had previously made no comment on the traffic impacts of the proposal.

The proposal is a minor development where the local planning authority would refer to current highways standing advice relating to parking provision and access requirements. In view of the minor nature of the built additions and the incidental nature of the proposed use, it is considered that current parking and access provisions are adequate to meet the needs of the development and are in accordance with Policy TR/18. It is considered therefore that the proposal would not cause significant additional traffic movements to and from the site, to the detriment of residential amenity or highway safety or lead to increased traffic congestion or traffic noise. If residents frequently experience blocked driveways as a result of taxi queues at peak times, this can be taken up directly with the school or police.

### Conclusion

Having carefully considered the proposals and the submissions made through local representations it is concluded that the development would cause less than substantial harm to the significance of the curtilage listed building and the Quorn Conservation Area.. The public benefit in seeing the building re-used and adapted to modern standards is considered to outweigh any harm to the heritage assets. The design is of good architectural quality with elevations that create contrasting visual interest. The siting and form of the extensions has taken into account the constraints within the site and it is considered that the building will have an acceptable impact on neighbouring occupiers in terms of its scale and impact on noise and privacy. It will not be harmful to the character and appearance of the street scene.

### **RECOMMENDATION:-**

Grant Conditionally

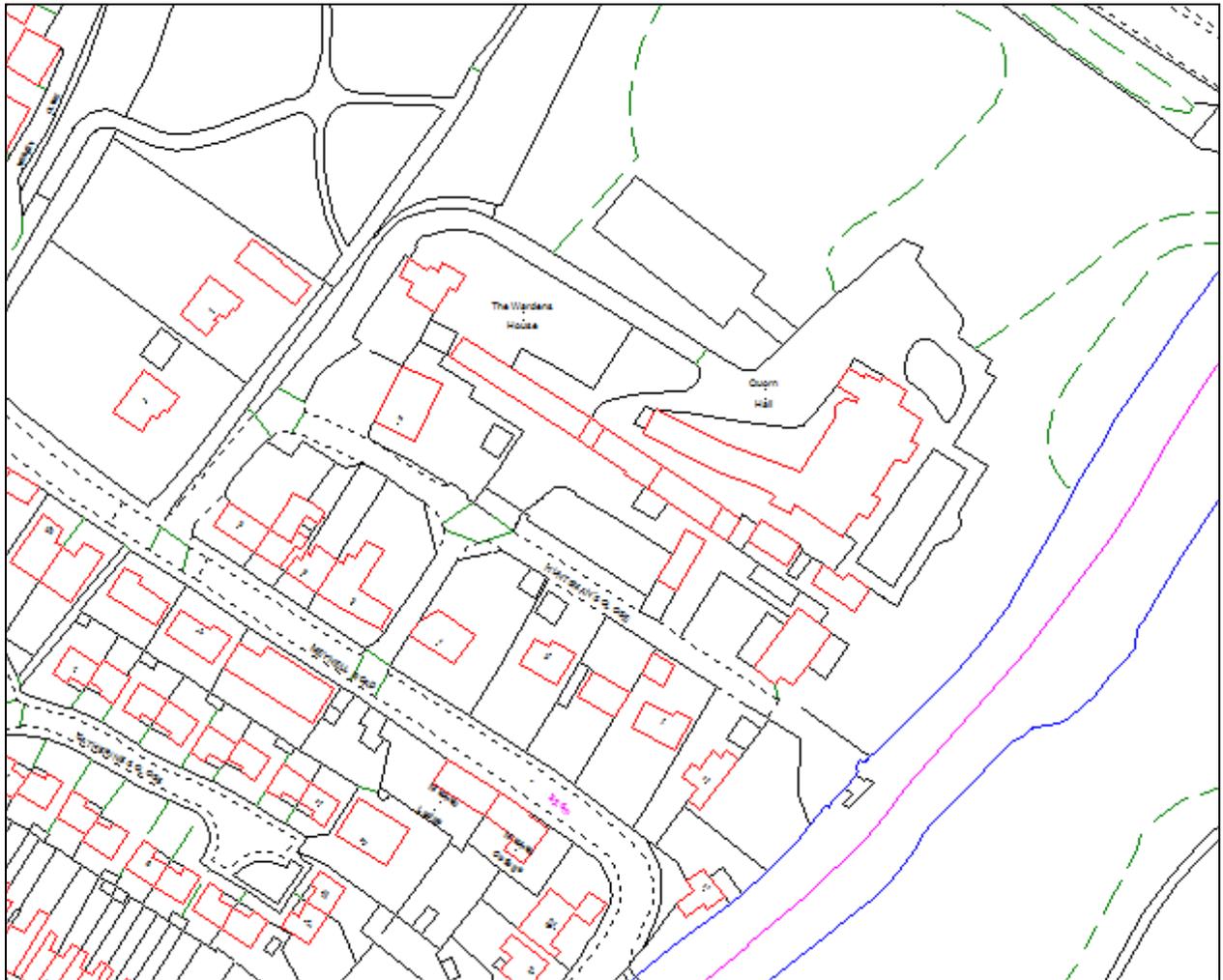
- 1 The development, hereby permitted, shall be begun not later than 3 years from the date of this permission.  
REASON: To comply with the requirements of Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
  
- 2 The development shall be carried out only in accordance with the details and specifications included in the submitted application, as shown on the drawings below;  
Approved Drawings:-  
31654-01.003D - Location Plan, Block Plan and site plan – revised plan received on 4<sup>th</sup> May 2018  
31654-01.004A – Revised block plan showing extensions – received 4<sup>th</sup> May 2018  
31654-01.002K - Proposed elevations, floor plans and sections – Revised plan received 4<sup>th</sup> May 2018  
REASON: For clarity and the avoidance of doubt and to define the terms of the permission.

- 3 No materials shall be placed on the site until such time as samples of the facing bricks and any other materials to be used on the external walls and of the roofing slates, tiles and any other materials have been submitted for the agreement of the local planning authority. Only materials agreed in writing by the local planning authority shall be used in carrying out the development.  
REASON: To make sure that the appearance of the completed development is satisfactory.
- 4 No works shall begin until details of the design, materials of construction and finish of all new window openings and the design and finish of the supporting columns for the extensions have been submitted to and agreed in writing by the local planning authority. The works shall be carried out only in accordance with the agreed details.  
REASON: To ensure the satisfactory appearance of the completed development.
- 5 The proposed first floor windows as indicated to be obscure glazed on drawing No. 31654-01.002K shall be glazed with obscure glass which shall thereafter be retained at all times and these, together with the roof lights shown to be fixed on the cited drawing, shall also be fixed (non-opening). Details of the glazing specification shall first be submitted for the approval in writing of the local planning authority. No changes shall be made to these windows nor shall any additional windows be inserted in any elevation thereafter.  
REASON: To minimise the effect of the development on the privacy and amenities of nearby residents.
6. Notwithstanding the submitted plans, the existing first floor window on the front elevation which is to be retained and the new ground floor window on the front elevation shall be fixed (non-opening) and glazed with obscure glass which shall thereafter be retained at all times. Details of the glazing specification shall first be submitted for the approval in writing of the local planning authority. No changes shall be made to these windows, nor shall any additional windows be inserted in any elevation thereafter.  
REASON: To minimise the effect of the development on the privacy and amenities of nearby residents.

The following advice notes will be attached to a decision

- 1 DEVELOPMENT PLAN POLICIES RELEVANT TO THIS DEVELOPMENT - Policies CS1, CS2, CS14 and CS25 of the Charnwood Local Plan 2011-2028 Core Strategy and Policy EV/1 of the Borough of Charnwood Local Plan have been taken into account in the determination of this application. The proposed development complies with the requirements of these policies and there are no other material considerations which are of significant weight in reaching a decision on this application.

- 2 Planning permission has been granted for this development because the Council has determined that, although representations have been received against the proposal, it is generally in accord with the terms of the above-mentioned policies and, otherwise, no harm would arise such as to warrant the refusal of planning permission.
- 3 The Local Planning Authority acted pro-actively through positive engagement with the applicant during the determination process. This led to improvements to the scheme to secure a sustainable form of development in line with the requirements of the National Planning Policy Framework (paragraphs 186 and 187) and in accordance with The Town and Country Planning (Development Management Procedure) (England) Order 2015.
- 4 In addition, as the proposed development is located within a conservation area, the Council has considered whether it would enhance or preserve its character and appearance. Planning permission has been granted on the basis of the Council's opinion that the development would, at least, preserve that character.



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